



CONTRACT DRAWINGS
FOR THE CONSTRUCTION OF
BID REFERENCE NO. 2417

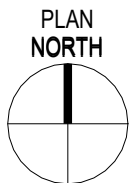
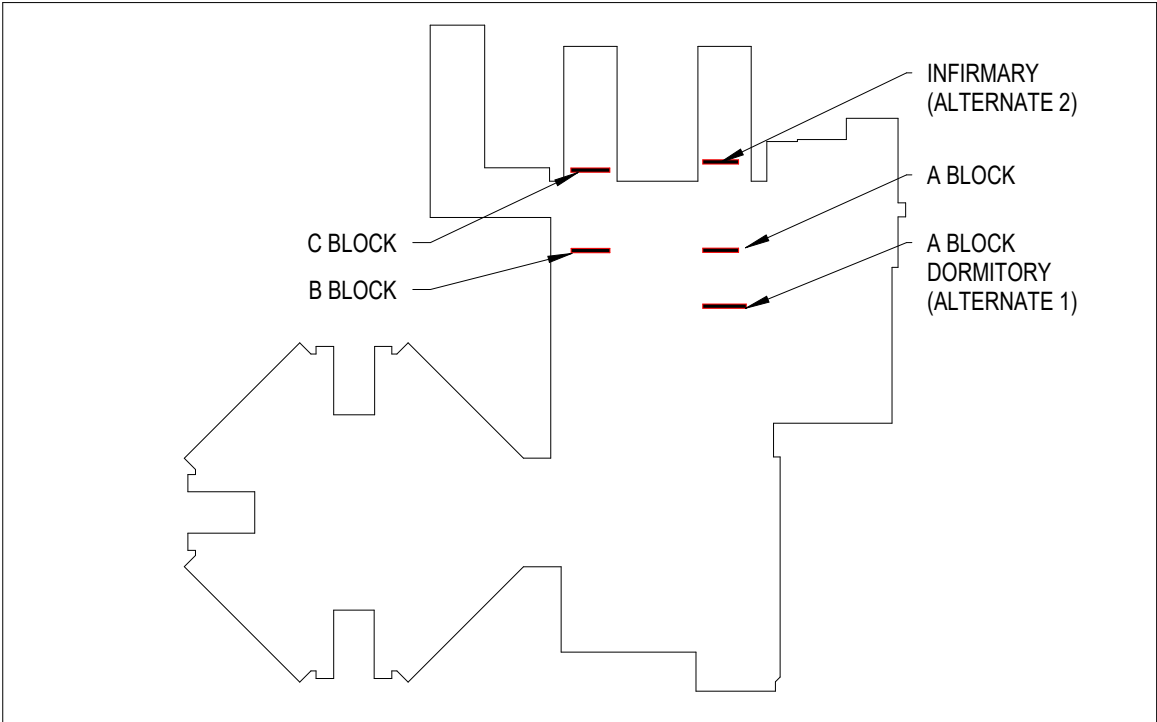
OCCF CELL BLOCK A, B, AND C
SHOWER RENOVATIONS
ONEIDA COUNTY
6065-6075 JUDD ROAD
ORISKANY, NEW YORK 13424

GENERAL CONSTRUCTION: CONTRACT NO. H2561201-4

SEPTEMBER 8, 2026

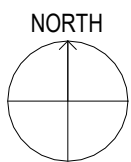
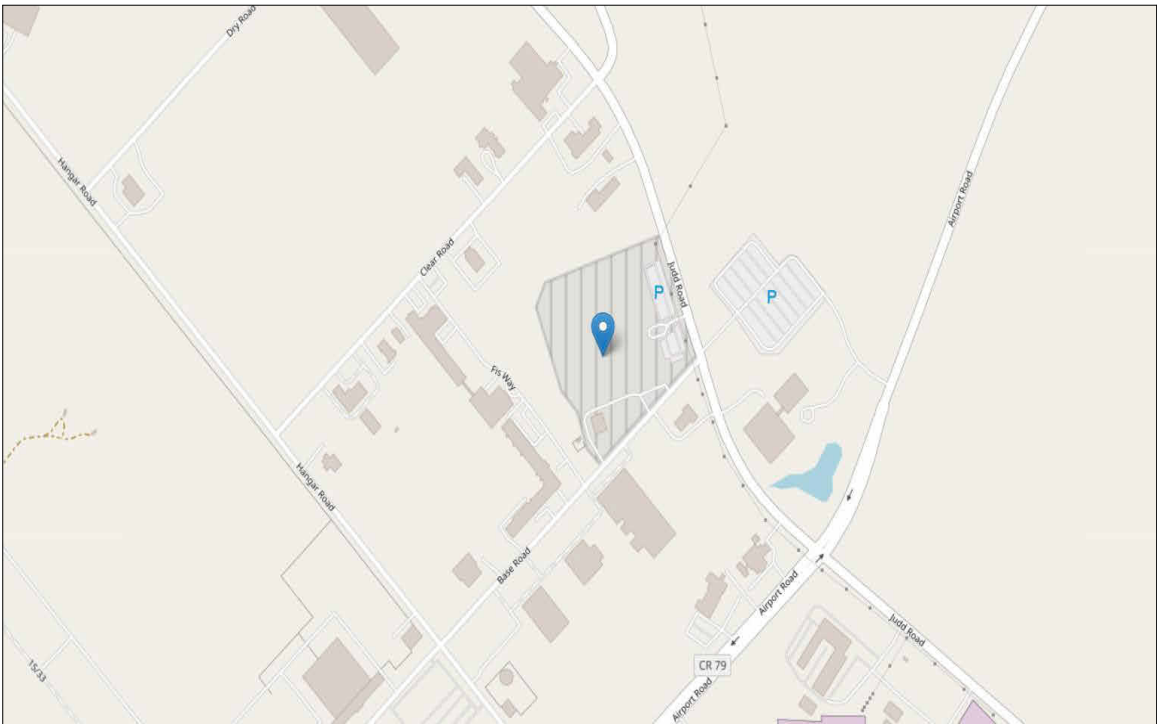
BID DOCUMENTS

C&S PROJECT NUMBER: 146.214.001



KEY PLAN

- 1. CELL BLOCK A DORMITORY SHOWERS
- 2. INFIRMARY SHOWERS



LOCATION MAP

ALTERNATES

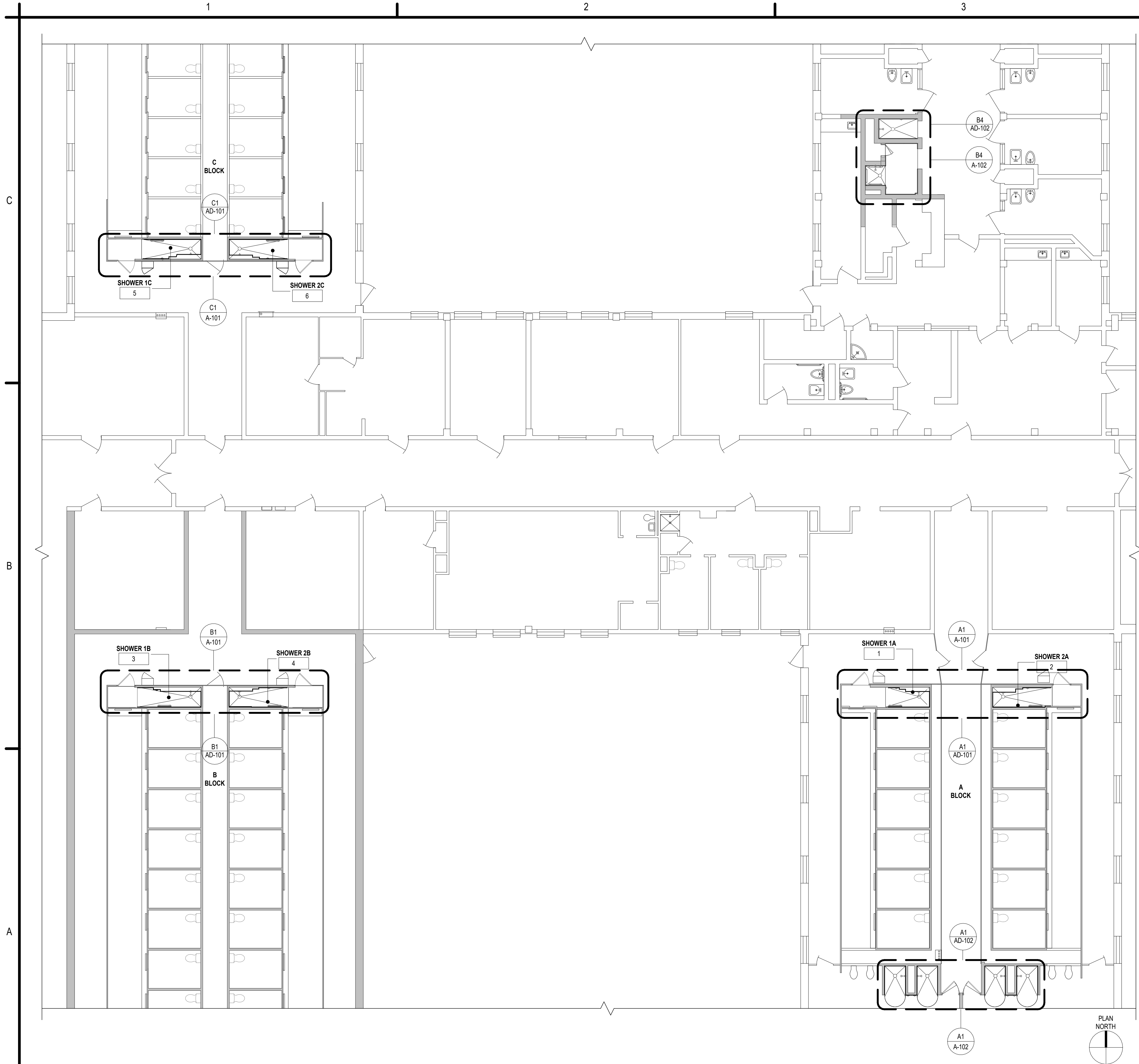
DRAWING LIST	
G-001	COVER SHEET
G-100	FIRST FLOOR PLAN & CODE COMPLIANCE
AD-101	DEMOLITION PLAN - CELL BLOCKS A, B, AND C
AD-102	ALTERNATE DEMOLITION PLAN - CELL BLOCK A DORMITORY & INFIRMARY
A-101	ENLARGED FLOOR PLANS - CELL BLOCKS A, B, AND C
A-102	ALTERNATE ENLARGED FLOOR PLANS - CELL BLOCK A DORMITORY & INFIRMARY
A-250	TYPICAL MOUNTING HEIGHTS AND ELEVATIONS, AND SCHEDULE
A-251	INTERIOR ELEVATIONS
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A-253	INTERIOR ELEVATIONS
A-254	ALTERNATE INTERIOR ELEVATIONS



TO THE BEST OF OUR KNOWLEDGE, INFORMATION AND BELIEF, THE
PLANS AND SPECIFICATIONS FOR THIS PROJECT ARE IN COMPLIANCE
WITH THE ENERGY CONSERVATION CONSTRUCTION CODE OF NEW
YORK STATE AND THE BUILDING CODE OF NEW YORK STATE

NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER
SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW

G-001



A1 FIRST FLOOR - FLOOR PLAN
SCALE: 1/8" = 1'-0"

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
0000	STRUCTURAL GRID		LEVEL REFERENCE
	EXTERIOR ELEVATION	A1 / A-101	VIEW REFERENCE
	INTERIOR ELEVATION	ROOM NAME 101 150 SF	ROOM TAG
	BUILDING SECTION		WALL TAG (SHOWING DIM WHEN NOT TO DECK)
	WALL SECTION		DOOR TAG
	DETAIL CALLOUT		WINDOW TAG
	EXISTING CONSTRUCTION TO REMAIN		REVISION TAG
	CONSTRUCTION TO BE DEMOLISHED		STRUCTURAL GRID LINE
			FINISHED SURFACE LINE
			DEMOLITION LINE
			OVERHEAD/HIDDEN LINE
			NEW CONSTRUCTION

C4 SYMBOLS LEGEND
SCALE: NOT TO SCALE

CODE COMPLIANCE INFORMATION

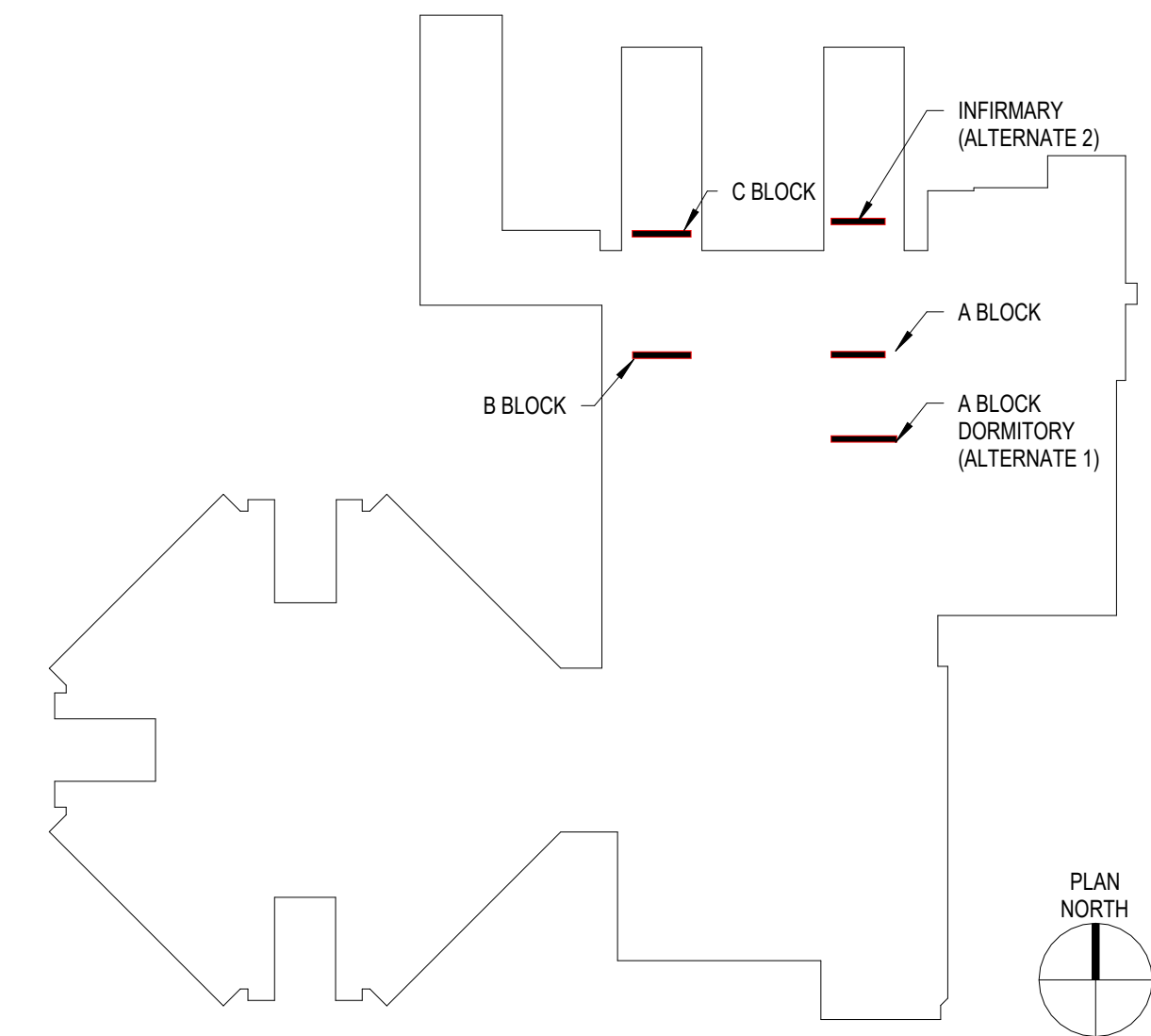
REFERENCED BUILDING CODES:
2025 EXISTING BUILDING CODE OF NEW YORK STATE
2025 BUILDING CODE OF NEW YORK STATE
2025 FIRE CODE OF NEW YORK STATE
2025 PLUMBING CODE OF NEW YORK STATE
2025 MECHANICAL CODE OF NEW YORK STATE

2025 ENERGY CONSERVATION CONSTRUCTION CODE OF NEW YORK STATE

2009 ICC A117.1 WITH SUPPLEMENT 1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES
2010 ADA STANDARDS FOR ACCESSIBLE DESIGN

CONSTRUCTION CLASSIFICATION:
EXISTING BUILDING CODE OF NYS CHAPTER 7 -- LEVEL 1 ALTERATION
THERE ARE NO IMPACTS TO OCCUPANT LOAD OR MODIFICATIONS TO THE BUILDING ENVELOPE.

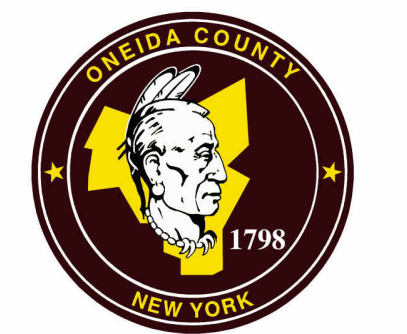
B4 CODE COMPLIANCE INFORMATION
SCALE: 1/2" = 1'-0"



A4 KEY PLAN
SCALE: 1" = 100'-0"



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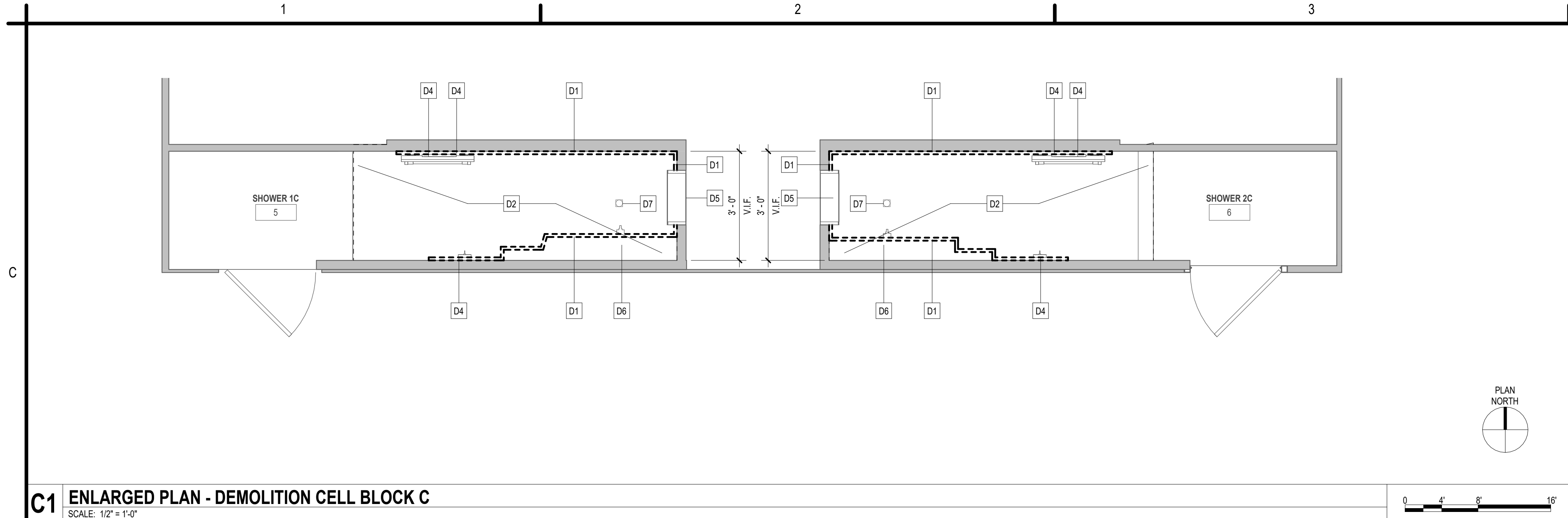


**OCCF CELL BLOCK A, B, AND C
SHOWER RENOVATIONS
ONEIDA COUNTY
6065-6075 JUDD ROAD
ORISKANY, NEW YORK 13424**

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: 146.214.001		
DATE: SEPTEMBER 8, 2026		
DRAWN BY: H. GEITNER		
DESIGNED BY: H. GEITNER		
CHECKED BY: M. LAMONTAGNE, AIA		
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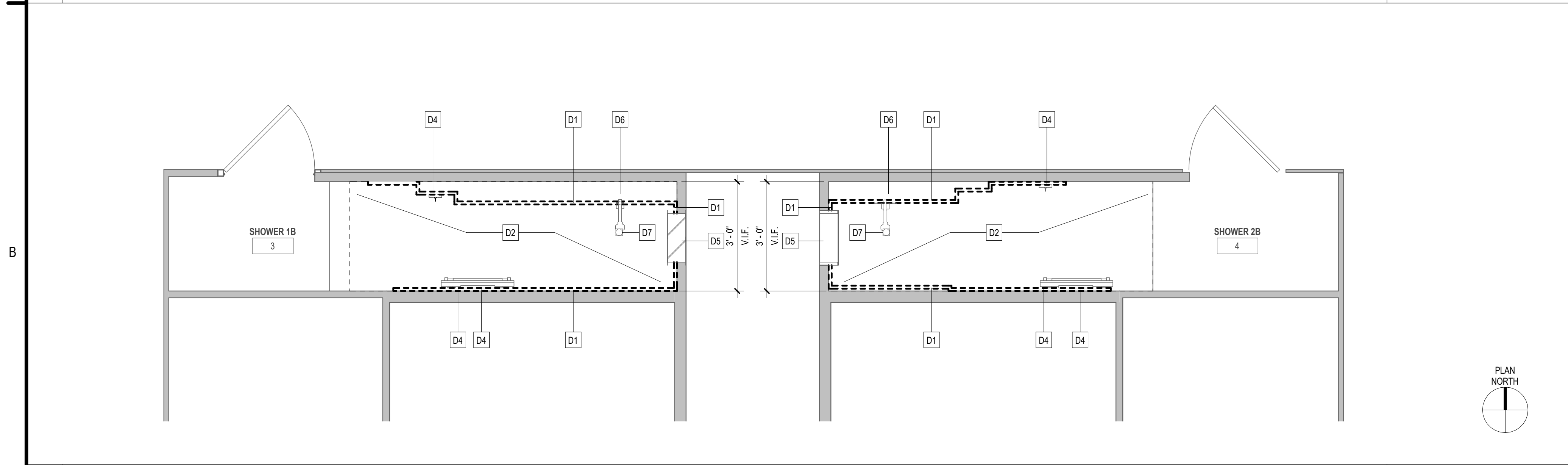
**FIRST FLOOR PLAN &
CODE COMPLIANCE**

G-100



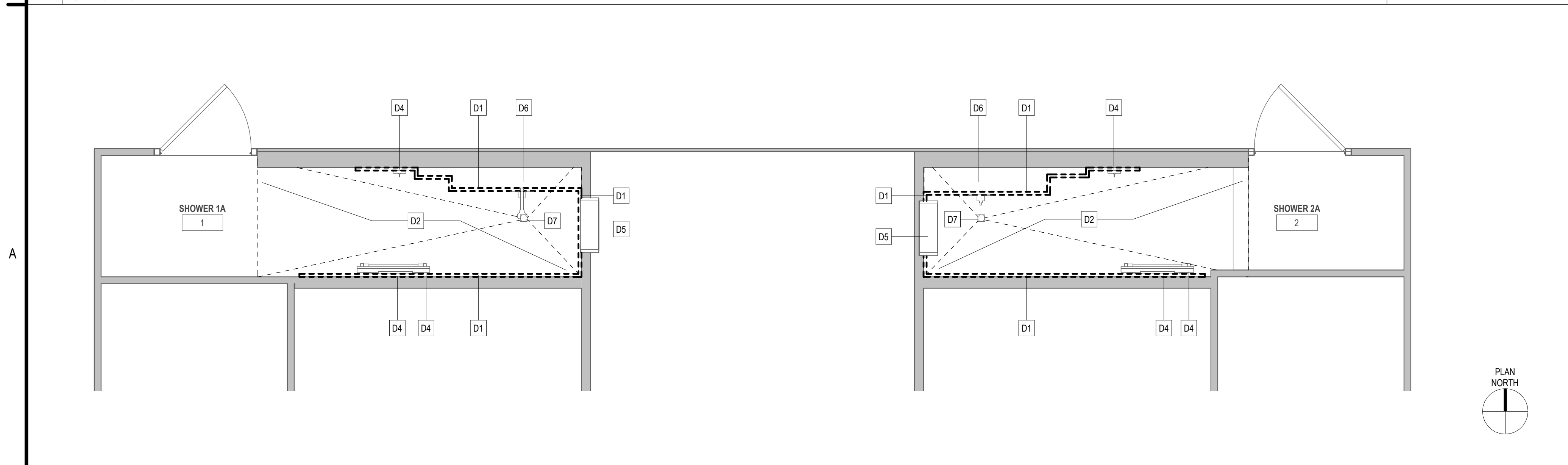
C1 ENLARGED PLAN - DEMOLITION CELL BLOCK C

SCALE: 1/2" = 1'-0"



B1 ENLARGED PLAN - DEMOLITION CELL BLOCK B

SCALE: 1/2" = 1'-0"



A1 ENLARGED PLAN - DEMOLITION CELL BLOCK A

SCALE: 1/2" = 1'-0"

ARCHITECTURAL GENERAL DEMOLITION NOTES:

1. PROTECT / MAINTAIN ALL EXISTING FIRE PROTECTION AND FIRE RESISTANCE RATED CONSTRUCTION.
2. PROTECT ALL EXISTING FINISH SURFACES TO REMAIN. PATCH EXISTING CONSTRUCTION TO MATCH ADJACENT FINISHES IN THE CASE OF REMOVALS AS REQUIRED BY THE WORK. ALL DAMAGE CAUSED BY THE CONTRACTOR, WHETHER INSIDE OR OUTSIDE THE CONTRACT LIMIT, SHALL BE REPLACED OR REPAIRED TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
3. REMOVE EXISTING FLOORING AT AREAS DESIGNATED TO RECEIVE FLOORING. PROVIDE SMOOTH, FLUSH AND LEVEL FLOOR TO EXTENT REQUIRED TO RECEIVE FINISHES. PATCH AND LEVEL FLOOR THROUGHOUT.
4. REMOVE ALL FINISHES DOWN TO CONCRETE, UNLESS OTHERWISE NOTED, AS REQUIRED TO ACCOMMODATE THE WORK. COORDINATE ALL NECESSARY DEMOLITION WORK WITH THE NEW WORK.
5. RECYCLE ALL WOOD TO BE REMOVED INCLUDING, BUT NOT LIMITED TO; BLOCKING, CASEWORK AND SHELVING.
6. RECYCLE ALL GLASS TO BE REMOVED.
7. RECYCLE ALL METAL TO BE REMOVED, INCLUDING, BUT NOT LIMITED TO; FRAMING, PIPE AND CEILING GRID.
8. LEGALLY DISPOSE OF ALL REMOVED BRICK AND BLOCK AS CLEAN FILL, EITHER ON OR OFF SITE.
9. RECYCLE ALL GYPSUM BOARD TO BE REMOVED.
10. IT IS THE INTENT OF THE DEMOLITION PLAN TO SHOW THE GENERAL NATURE OF THE DEMOLITION SCOPE OF WORK. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VISITING THE JOB SITE AND VERIFYING THE EXISTING CONDITIONS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ALL DISCREPANCIES.
11. COORDINATE AND VERIFY WITH THE OWNER ALL ITEMS TO BE SALVAGED PRIOR TO REMOVAL. THESE ITEMS MAY INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING: PLUMBING FIXTURES AND SHOWER ACCESSORIES.
12. MAINTAIN SEPARATION BETWEEN AREAS OUTSIDE THE SCOPE OF WORK BY PROVIDING PLASTIC SHEATHING BETWEEN SPACES AND/OR TEMPORARILY TAPING OF JOINTS AND CAPS
13. CONDUCT DEMOLITION AND THE REMOVAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH STREETS, WALKS AND OTHER ADJACENT OCCUPIED BUILDINGS. COMPLY WITH LOCAL JURISDICTIONAL REQUIREMENTS OR RECYCLING AND TREATMENT OF ITEMS TO BE RECYCLED.
14. DISPOSE OF ALL DEMOLISHED OR REMOVED MATERIALS LEGALLY OFF THE SITE. COMPLY WITH ALL LOCAL HAULING AND DISPOSAL REQUIREMENTS.
15. UTILITIES TO REMAIN IN SERVICE DURING DEMOLITION SHALL BE MAINTAINED AND PROTECTED AGAINST DAMAGE.
16. SCHEDULE ALL SERVICE SHUT-DOWNS WITH THE OWNER. NOTIFY THE OWNER AT A MINIMUM TIME OF ONE (1) WEEK AND ADDITIONALLY ONE (1) HOUR PRIOR TO SHUT DOWNS.
17. UPON COMPLETION, CLEAN THE ENTIRE WORK AREA TO A TIDY, UNIFORM CONDITION; REMOVING ALL DEBRIS, DUST PARTITIONS AND ASSOCIATED MATERIALS USED DURING DEMOLITION. CLEAN ALL AREAS IMPACTED BY DEMOLITION, INCLUDING BUT NOT LIMITED TO, ADJACENT OCCUPIED AREAS AND AREAS NOT WITHIN THE SCOPE OF WORK.
18. ABANDONMENT OF ITEMS OR UNUSED UTILITIES IN PLACE IS STRICTLY PROHIBITED, UNLESS SPECIFICALLY PERMITTED BY OWNER.
19. DISPOSAL OF ALL DEBRIS AND DEMOLISHED MATERIALS SHALL BE CONTRACTORS RESPONSIBILITY. DEBRIS REMOVAL SHALL BE PROMPT AND GENERAL CLEAN-UP SHALL OCCUR DAILY.
20. FIRE AND SMOKE DETECTION SERVICES SHALL REMAIN OPERATIONAL DURING DEMOLITION AND CONSTRUCTION. PROTECT FIRE AND SMOKE DETECTION DEVICES FROM DUST, DAMAGE AND DEBRIS.
21. IT IS THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE SELECTIVE DEMOLITION WORK AND ALL NEW WORK TO ASSURE THAT THE BUILDING REMAINS WEATHERTIGHT. PROVIDE TEMPORARY PROTECTION AS NEEDED.
22. CLEAN AND PREPARE ALL EXISTING SURFACES TO REMAIN AS REQUIRED TO PREPARE FOR PROPOSED FINISHES.
23. IT IS NOT EXPECTED THAT HAZARDOUS MATERIALS WILL BE ENCOUNTERED IN THE WORK. IF SUSPECTED HAZARDOUS MATERIALS ARE ENCOUNTERED, DO NOT DISTURB; IMMEDIATELY NOTIFY ARCHITECT AND OWNER.

B4 GENERAL DEMOLITION NOTES

SCALE: NOT TO SCALE

DEMOLITION KEYNOTES

- D1 REMOVE ACRYLIC WALL PANELS
D2 REMOVE ACRYLIC FLOOR AND BASE
D3 EXISTING ACRYLIC CEILING PANELS TO REMAIN
D4 REMOVE SHOWER ACCESSORIES AND SALVAGE FOR REINSTALLATION
D5 REMOVE LOUVER AND SALVAGE FOR REINSTALLATION
D6 CLOSE ISOLATION SHUTOFF VALVES. DISCONNECT EXISTING HOT AND COLD WATER AS REQUIRED FOR REMOVAL OF EXISTING SECURITY SHOWER. SALVAGE SECURITY SHOWER FOR RE-INSTALLATION
D7 DISCONNECT AND REMOVE EXISTING FLOOR DRAIN COVER AS REQUIRED FOR INSTALLATION OF NEW FINISH FLOOR. CAP/COVER FLOOR DRAIN DURING CONSTRUCTION. SALVAGE FLOOR DRAIN COVER FOR RE-INSTALLATION

A4 KEYED DEMOLITION NOTES

SCALE: NOT TO SCALE



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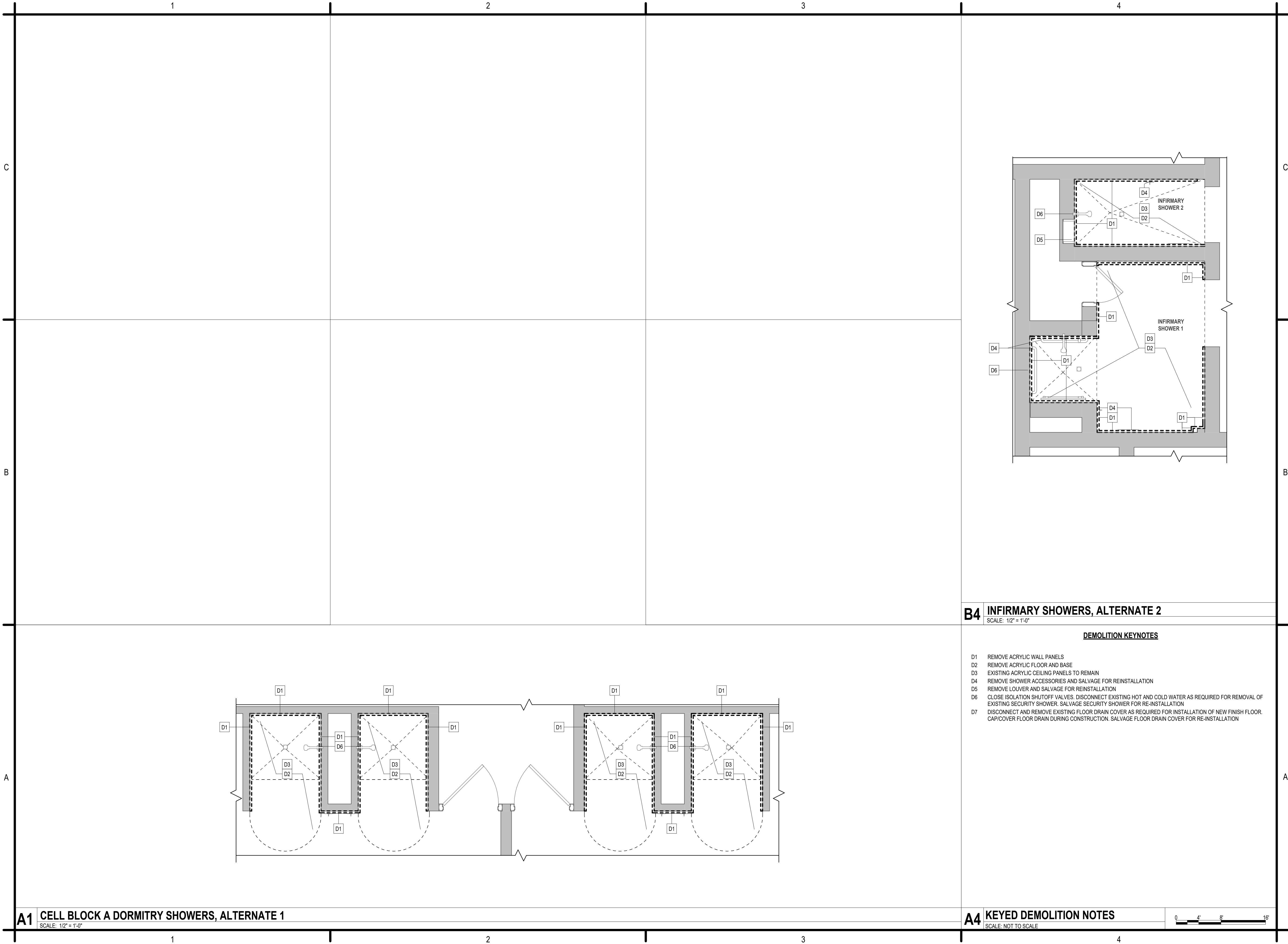


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DEMOLITION PLAN -
CELL BLOCKS A, B,
AND C

AD-101



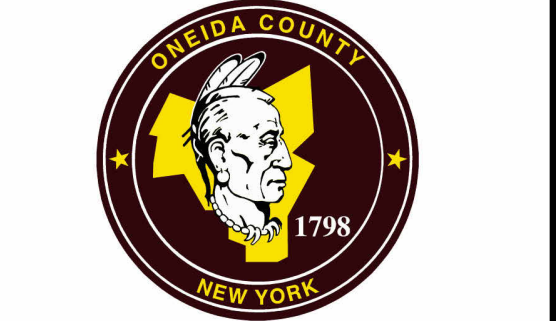


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REGISTERED ARCHITECT
EL W LAMONTAGNE
M. Lamontagne
P.E.
N.Y.

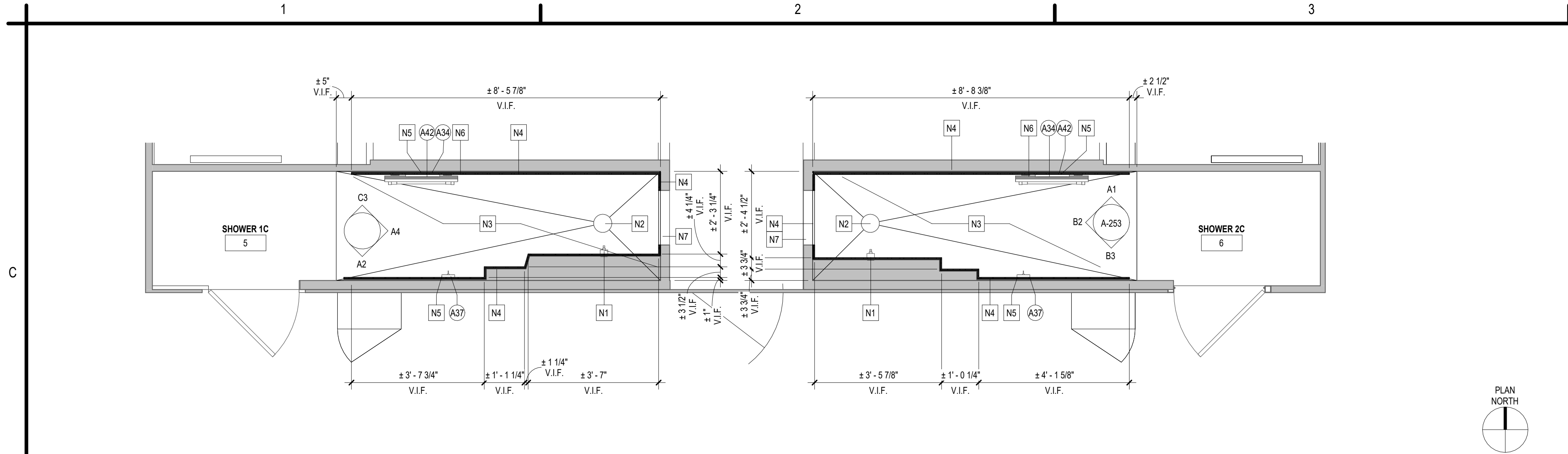


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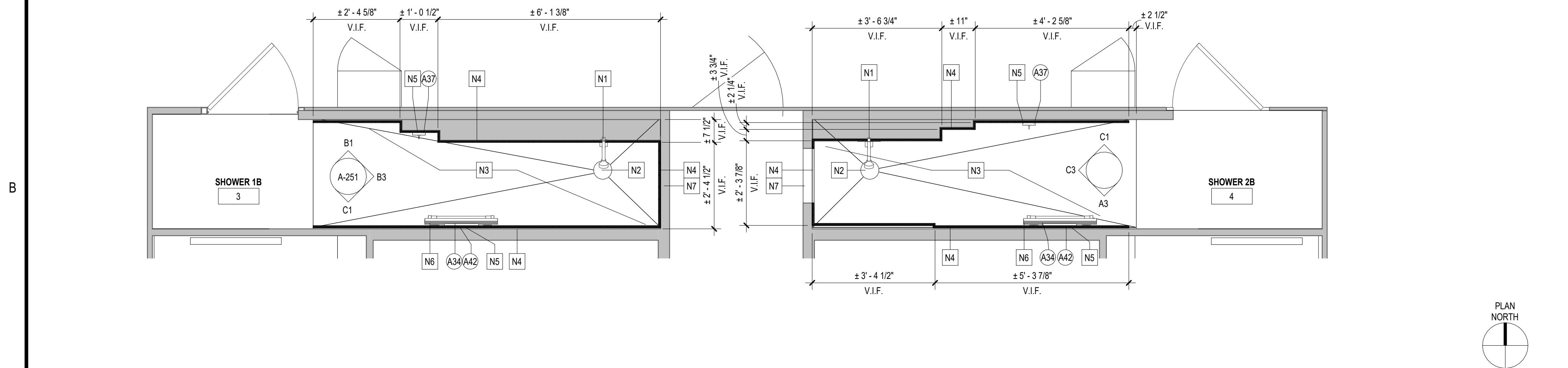
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ALTERNATE
DEMOLITION PLAN -
CELL BLOCK A
DORMITORY &
INFIRMARY

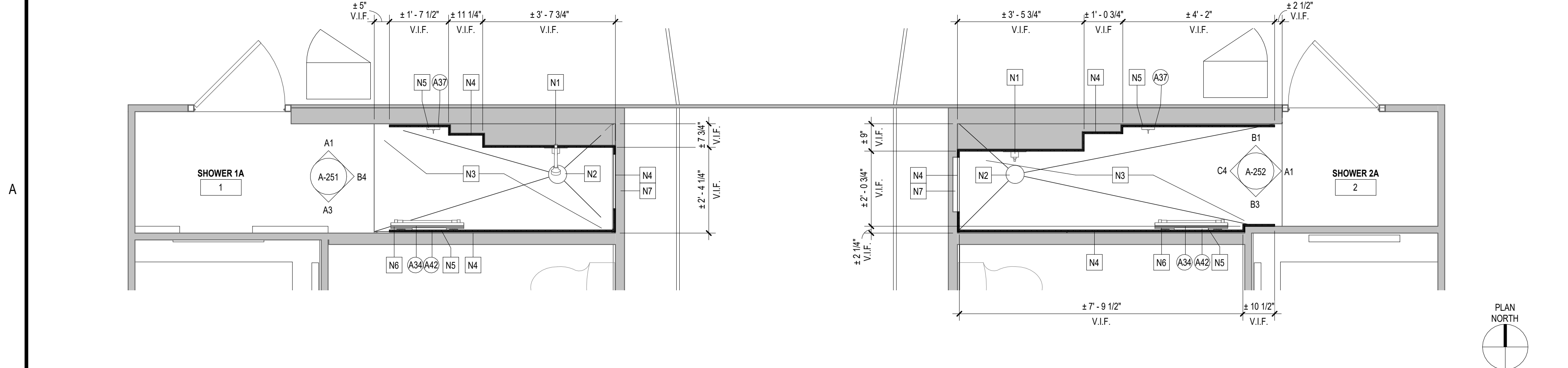
AD-102



C1 ENLARGED PLAN - CELL BLOCK C SHOWERS
SCALE: 1/2" = 1'-0"



B1 ENLARGED PLAN - CELL BLOCK B SHOWERS
SCALE: 1/2" = 1'-0"



A1 ENLARGED PLAN - CELL BLOCK A SHOWERS
SCALE: 1/2" = 1'-0"

ARCHITECTURAL GENERAL NOTES:

- DIMENSIONS NOTED "EQ" ARE EQUAL TO EACH OTHER ONLY IF THEY ARE ON THE SAME DIMENSION STRING AND IN THE SAME ROW.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS. REFER TO DRAWINGS FOR DIMENSIONS. REQUIRED CRITICAL DIMENSIONS NOT FOUND SHOULD BE FIELD VERIFIED OR OBTAINED FROM ARCHITECT. VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD (EXISTING AND PROPOSED CONSTRUCTION) AND BRING ANY DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- ALL WOOD COMPONENTS, ROUGH AND FINISHED, IN CORRIDORS, FIRE STAIRS, AND LOBBIES SHALL RECEIVE FIRE RETARDING TREATMENT (FRT).
- ROOM NUMBERING IS FOR CONSTRUCTION PURPOSES ONLY. ACTUAL ROOM NUMBERING TO BE COORDINATED WITH OWNER PRIOR TO ANY SCHEDULING OR LABELING.
- PROVIDE BLOCKING OR PROVISIONS FOR SOLID ANCHORAGE AT WALL AND CEILING MOUNTED EQUIPMENT AND ACCESSORIES PROVIDED UNDER THIS CONTRACT AND EQUIPMENT TO BE PROVIDED BY THE OWNER.
- MAINTAIN EXISTING FIRE PROOFING AND FIRE RATED CONSTRUCTION. PATCH AS NEEDED TO MEET REQUIREMENTS AS PER CODE CONFORMANCE DRAWINGS.
- ALL WORK IS NEW UNLESS NOTED AS EXISTING.
- ALL DIMENSIONS ARE TO FACE OF FRAMING, FACE OF MASONRY UNIT, OR FINISHED FACE OF EXISTING CONSTRUCTION.
- VERIFY ALL DIMENSIONS IN THE FIELD. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN CONTRACT DOCUMENTS AND FIELD CONDITIONS.
- DOCUMENTS ARE BASED UPON CONSTRUCTION DRAWINGS, EXISTING CONDITIONS MAY VARY. CONTACT ARCHITECT IF DISCREPANCIES ARISE.
- PROTECT ALL EXISTING FINISH SURFACES TO REMAIN. PATCH EXISTING CONSTRUCTION TO MATCH ADJACENT FINISHES TO REMAIN AT ALL REMOVALS AND AS REQUIRED BY NEW YORK. ALL DAMAGE CAUSED BY THE CONTRACTOR, WHETHER INSIDE OR OUTSIDE THE CONTRACT LIMIT, SHALL BE REPLACED OR REPAIRED TO A LIKE NEW CONDITION AT NO ADDITIONAL COST TO THE OWNER.
- PROVIDE ACCESS PANELS AS REQUIRED AT ALL WALLS AND CEILINGS AT ALL VALVES, DAMPERS, CONCEALED JUNCTION BOXES, AND OTHER EQUIPMENT REQUIRING MAINTENANCE, ADJUSTMENTS OR SERVICING.
- THE TERM "WALL" AND "PARTITION" ARE USED INTERCHANGEABLY.
- PROVIDE GYPSUM BOARD CONTROL JOINTS WHERE ANY OF THE FOLLOWING CONDITIONS EXIST:
 - PARTITIONS OR CEILINGS OF DISSIMILAR CONSTRUCTION MEET AND REMAIN IN THE SAME PLANE AND/OR
 - GYPSUM BOARD PARTITIONS WHERE THE SURFACE EXCEEDS A LENGTH OF 30' MAXIMUM IN ANY DIRECTION AND/OR
 - GYPSUM BOARD CEILINGS WHERE THE SURFACE EXCEEDS A LENGTH OF 50' MAXIMUM IN ANY DIRECTION (WITH PERIMETER RELIEF) OR 30' MAXIMUM IN ANY DIRECTION (WITHOUT PERIMETER RELIEF)
- PROVIDE METAL STUD INSERT BLOCKING AT ALL WALLS RECEIVING WALL MOUNTED EQUIPMENT AND/OR ACCESSORIES. COORDINATE WITH ALL TRADES AND OWNER EQUIPMENT LAYOUTS.
- SEE PARTITION TYPES FOR LOCATIONS OF ACOUSTIC AND THERMAL INSULATION.
- ALL GYPSUM BOARD SHALL BE INSTALLED VERTICALLY WITH JOINTS STAGGERED WHERE THERE ARE TWO LAYERS. ALL GYPSUM BOARD IN FIRE RATED PARTITIONS TO COMPLY WITH LISTED UL ASSEMBLY.
- FIRE TAPE, SMOKE TIGHT, ALL GYPSUM BOARD VENEER ABOVE CEILING OR OTHERWISE CONCEALED.
- INTERIOR WALL TYPES ARE SHOWN ON THE FLOOR PLANS AND/OR DETAILS USING WALL TYPE SYMBOL (REFER TO SYMBOLS LEGEND).
- PROVIDE ACOUSTICAL SEALANT AT ALL PARTITION PERIMETERS, RUNNERS, ELECTRICAL OUTLETS, PENETRATIONS AND OPENINGS. TO MINIMIZE SOUND TRANSMISSION, ELECTRICAL OUTLETS SHALL BE SEPARATED BY A MINIMUM OF ONE STUD, BACK TO BACK.

B4 GENERAL NOTES
SCALE: NOT TO SCALE

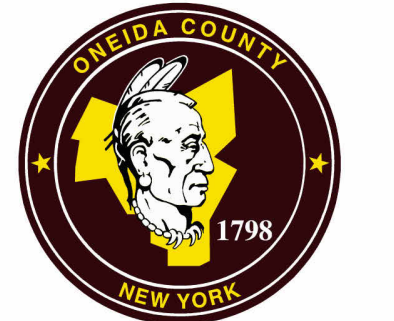
KEYNOTES

- N1 RE-INSTALL EXISTING SECURITY SHOWER. CONNECT HOT AND COLD WATER TO FAUCET AND OPEN ISOLATION SHUTOFF VALVES. CONFIRM PROPER OPERATION OF SECURITY SHOWER
- N2 REMOVE TEMPORARY FLOOR DRAIN COVER. INSTALL AND SECURE EXISTING FLOOR DRAIN COVER ON EXISTING SHOWER DRAIN PIPING FOLLOWING COMPLETION OF NEW FINISH FLOOR INSTALLATION
- N3 SKIM COAT EXISTING FLOOR AND SHOWER BASE. PROVIDE WATERPROOFING SYSTEM AND 2x2 INCH MOSAIC TILE ON FLOOR. APPLY WATERPROOFING TO ADJACENT WALLS. 6 INCHES MINIMUM
- N4 SKIM COAT EXISTING CMU WALLS AS REQUIRED TO RECEIVE NEW FINISH. INSTALL CRACK ISOLATION/WATERPROOFING MEMBRANE. PROVIDE 12 x 24 INCH WALL TILE FINISH SET IN MORTAR, FULL HEIGHT, VERTICAL ORIENTATION. LIMITS TO MATCH THAT OF FORMER WALL. PROVIDE BULLNOSE TRIM AT OUTSIDE CORNERS AND WHERE TILE TERMINATES
- N5 REINSTALL ALL EXISTING SHOWER ACCESSORIES TO THEIR ORIGINAL LOCATIONS, ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND ADA REQUIREMENTS
- N6 REINSTALL EXISTING SHOWER SEATS TO THEIR ORIGINAL LOCATIONS, ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND ADA REQUIREMENTS USING ADHESIVE ANCHORS
- N7 REINSTALL EXISTING LOUVER

A4 KEYED NOTES
SCALE: NOT TO SCALE



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ENLARGED FLOOR
PLANS - CELL BLOCKS
A, B, AND C

A-101

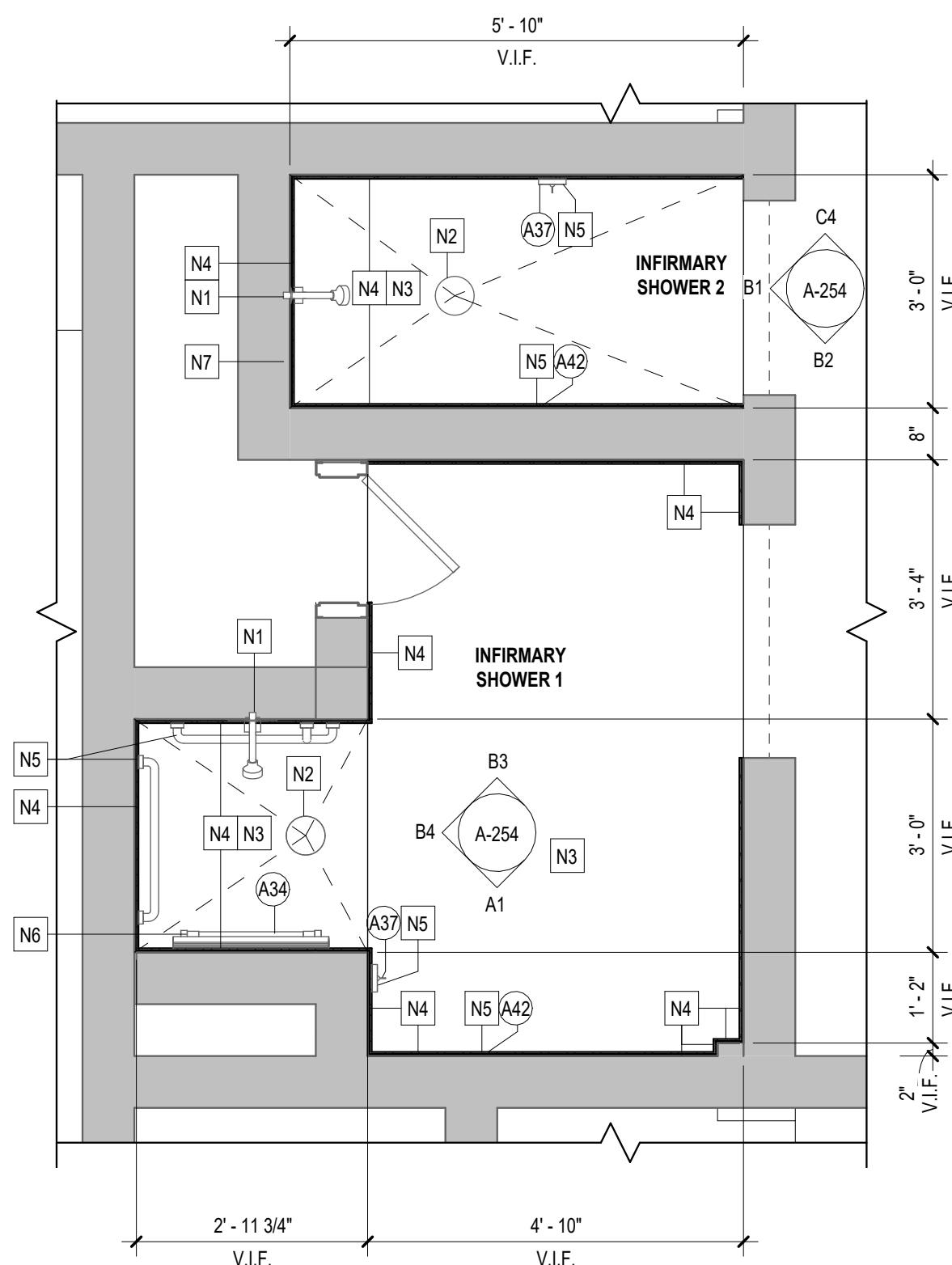


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ALTERNATE ENLARGED FLOOR PLANS - CELL BLOCK A DORMITORY & INFIRMARY

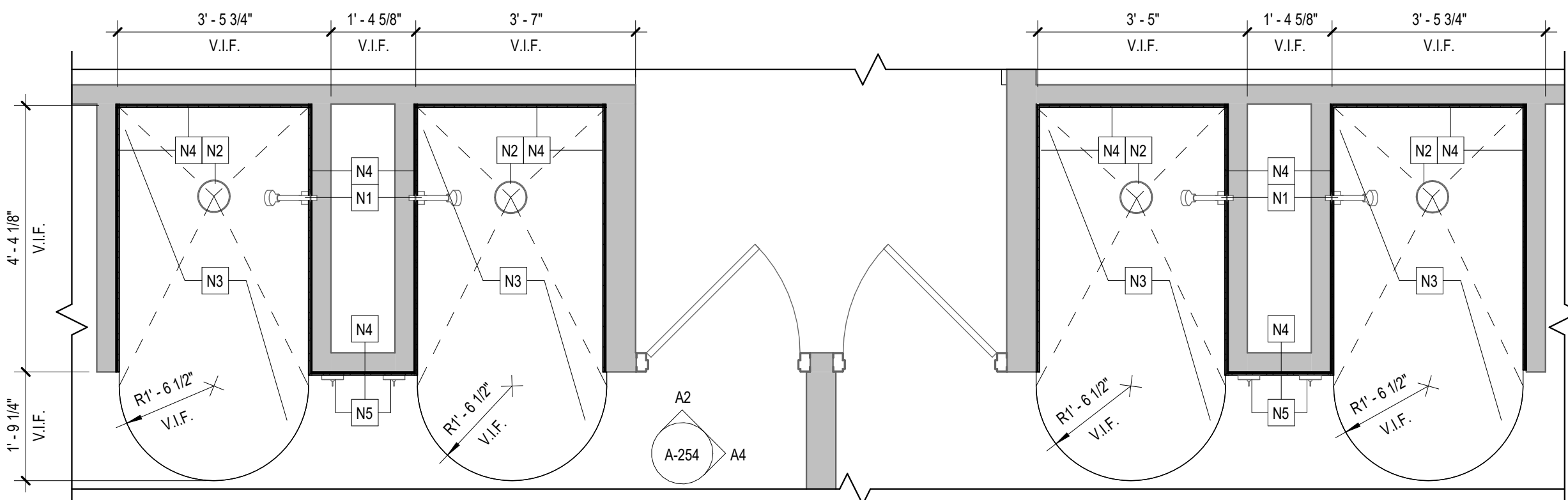
A-102



B4 ENLARGED FLOOR PLAN - INFIRMARY SHOWERS, ALT 2
SCALE: 1/2" = 1'-0"

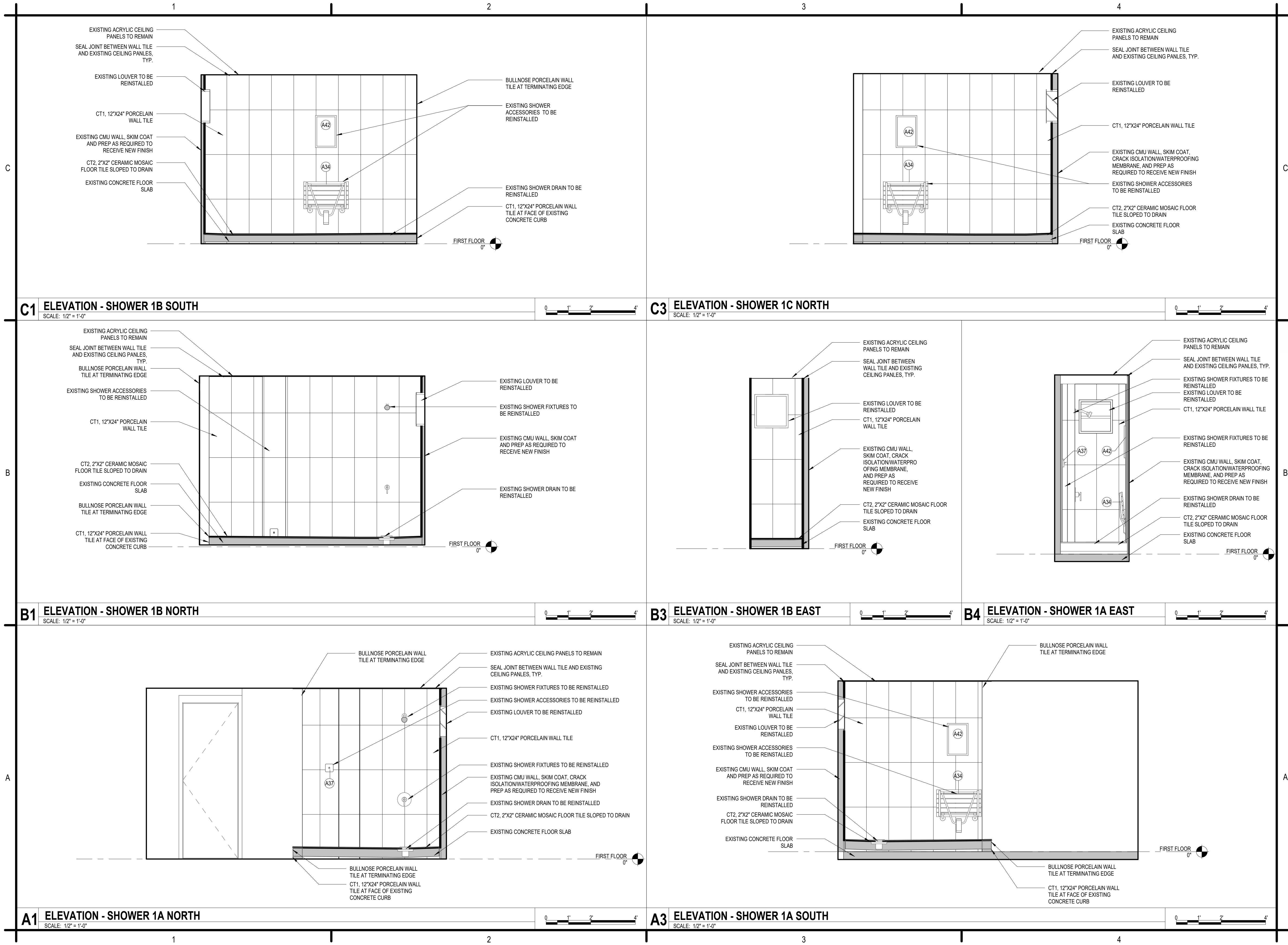
KEYNOTES

- | | |
|----|---|
| N1 | RE-INSTALL EXISTING SECURITY SHOWER. CONNECT HOT AND COLD WATER TO FAUCET AND OPEN ISOLATION SHUTOFF VALVES. CONFIRM PROPER OPERATION OF SECURITY SHOWER |
| N2 | REMOVE TEMPORARY FLOOR DRAIN COVER. INSTALL AND SECURE EXISTING FLOOR DRAIN COVER ON EXISTING DRAIN PIPING FOLLOWING COMPLETION OF NEW FINISH FLOOR INSTALLATION |
| N3 | SKIM COAT EXISTING FLOOR AND SHOWER BASE. PROVIDE WATERPROOFING SYSTEM AND 2x2 INCH MOSAIC TILE ON FLOOR. APPLY WATERPROOFING TO ADJACENT WALLS. 6 INCHES MINIMUM |
| N4 | SKIM COAT EXISTING CMU WALLS AS REQUIRED TO RECEIVE NEW FINISH. INSTALL CRACK ISOLATION/WATERPROOFING MEMBRANE. PROVIDE 12x 24 INCH WALL TILE. FINISH SET IN MORTAR. FULL HEIGHT, VERTICAL ORIENTATION. LIMITS TO MATCH THAT OF FORMER WALL. PROVIDE BULLNOSE TRIM AT OUTSIDE CORNERS AND WHERE TILE TERMINATES |
| N5 | REINSTALL ALL EXISTING SHOWER ACCESSORIES TO THEIR ORIGINAL LOCATIONS, ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND ADA REQUIREMENTS |
| N6 | REINSTALL EXISTING SHOWER SEATS TO THEIR ORIGINAL LOCATIONS, ACCORDING TO MANUFACTURER'S INSTRUCTIONS AND ADA REQUIREMENTS USING ADHESIVE ANCHORS |
| N7 | REINSTALL EXISTING LOUVER |



A1 ENLARGED FLOOR PLAN - CELL BLOCK A DORMITORY SHOWERS, ALTERNATE 1
SCALE: 1/2" = 1'-0"

A4 KEYED NOTES
SCALE: NOT TO SCALE





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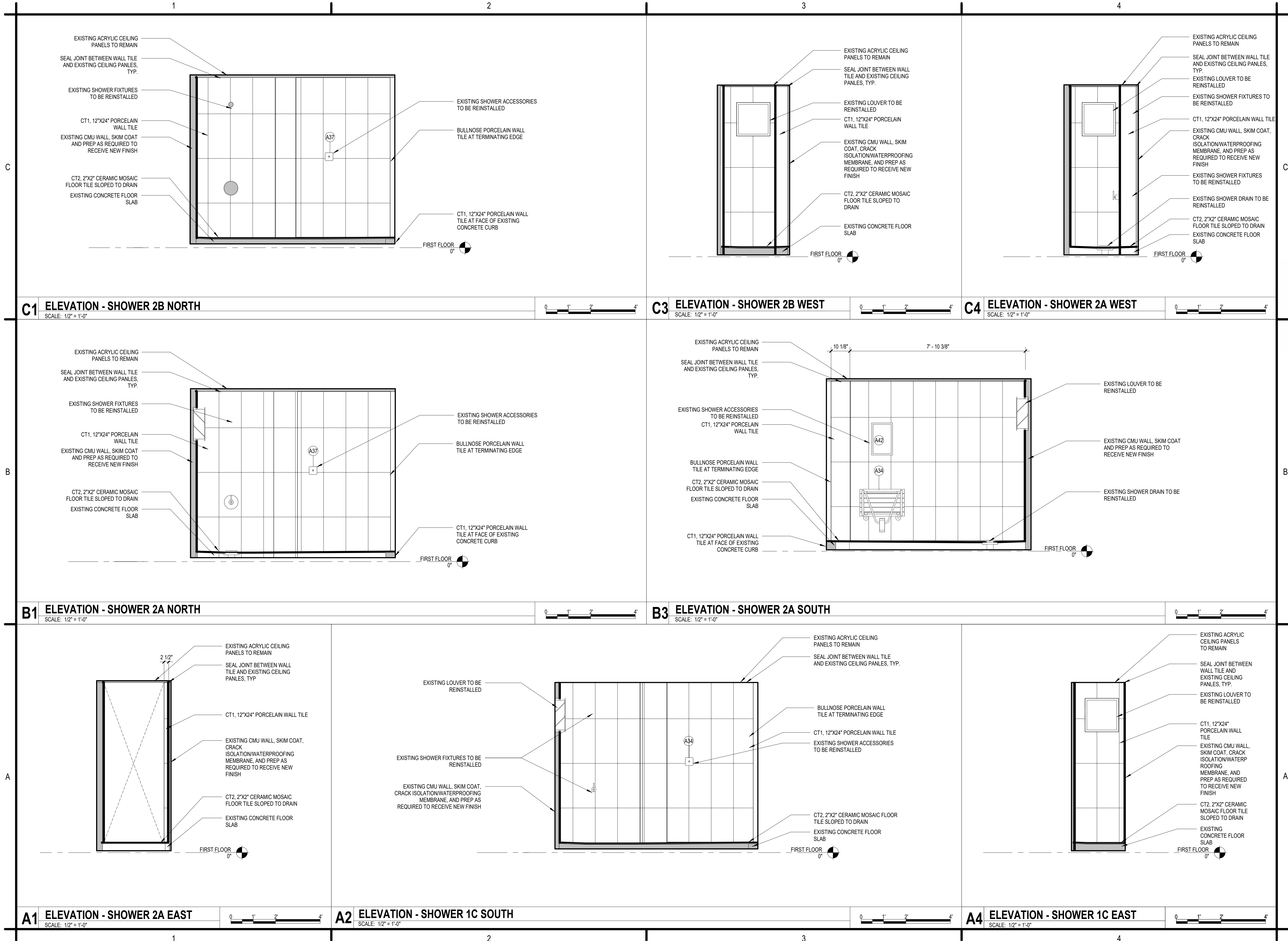


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INTERIOR ELEVATIONS

A-251





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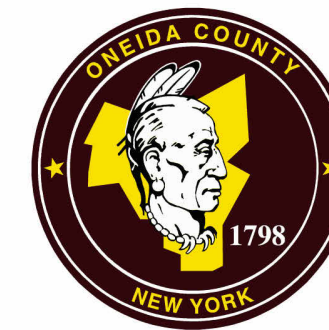
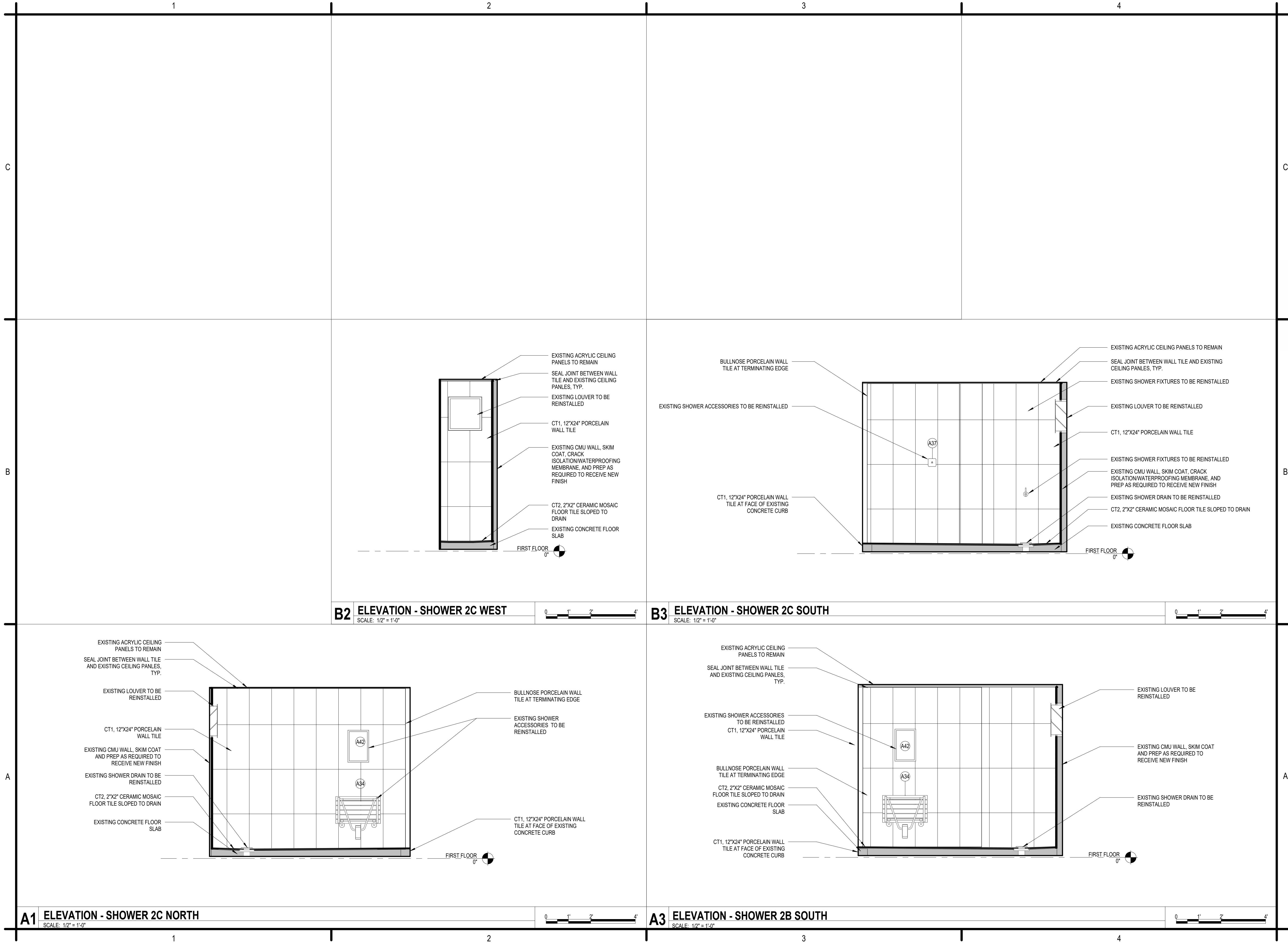
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OCCF CELL BLOCK A, B, AND C
SHOWER RENOVATIONS
ONEIDA COUNTY
6065-6075 JUDD ROAD
ORISKANY, NEW YORK 13424

MARK	DATE	DESCRIPTION
REVISIONS		
PROJECT NO: 146.214.001		
DATE: SEPTEMBER 8, 2026		
DRAWN BY: H. GEITNER		
DESIGNED BY: H. GEITNER		
CHECKED BY: M. LAMONTAGNE, AIA		
NO ALTERATION PERMITTED HEREON EXCEPT AS PROVIDED UNDER SECTION 7209 SUBDIVISION 2 OF THE NEW YORK EDUCATION LAW		

INTERIOR ELEVATIONS

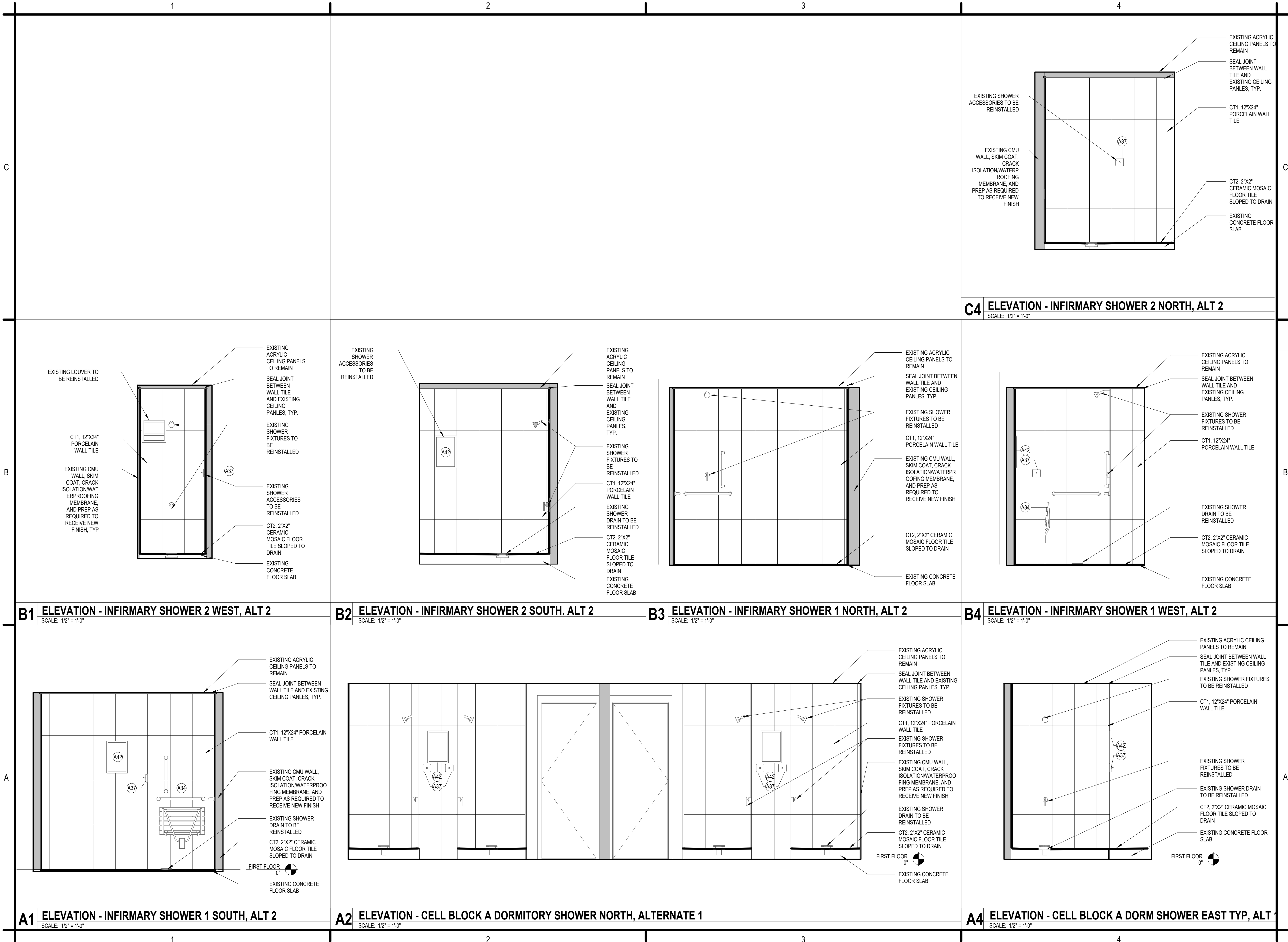


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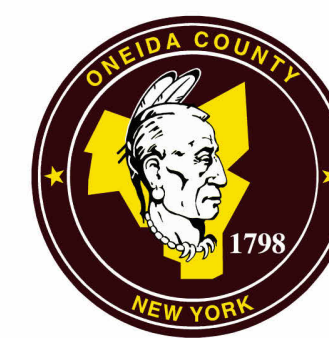
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DATE: SEPTEMBER 8, 2026		
DRAWN BY: Author		
DESIGNED BY: Designer		
CHECKED BY: Checker		
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ALTERNATE INTERIOR
ELEVATIONS

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